

Final Design Proposal For the Building Renovation of the  
**LEWES HARBOR CONDOMINIUM ASSOCIATION**

211 ANGLERS ROAD LEWES, DE 19958



MICHAEL COHALAN, ARCHITECT

# Existing Building

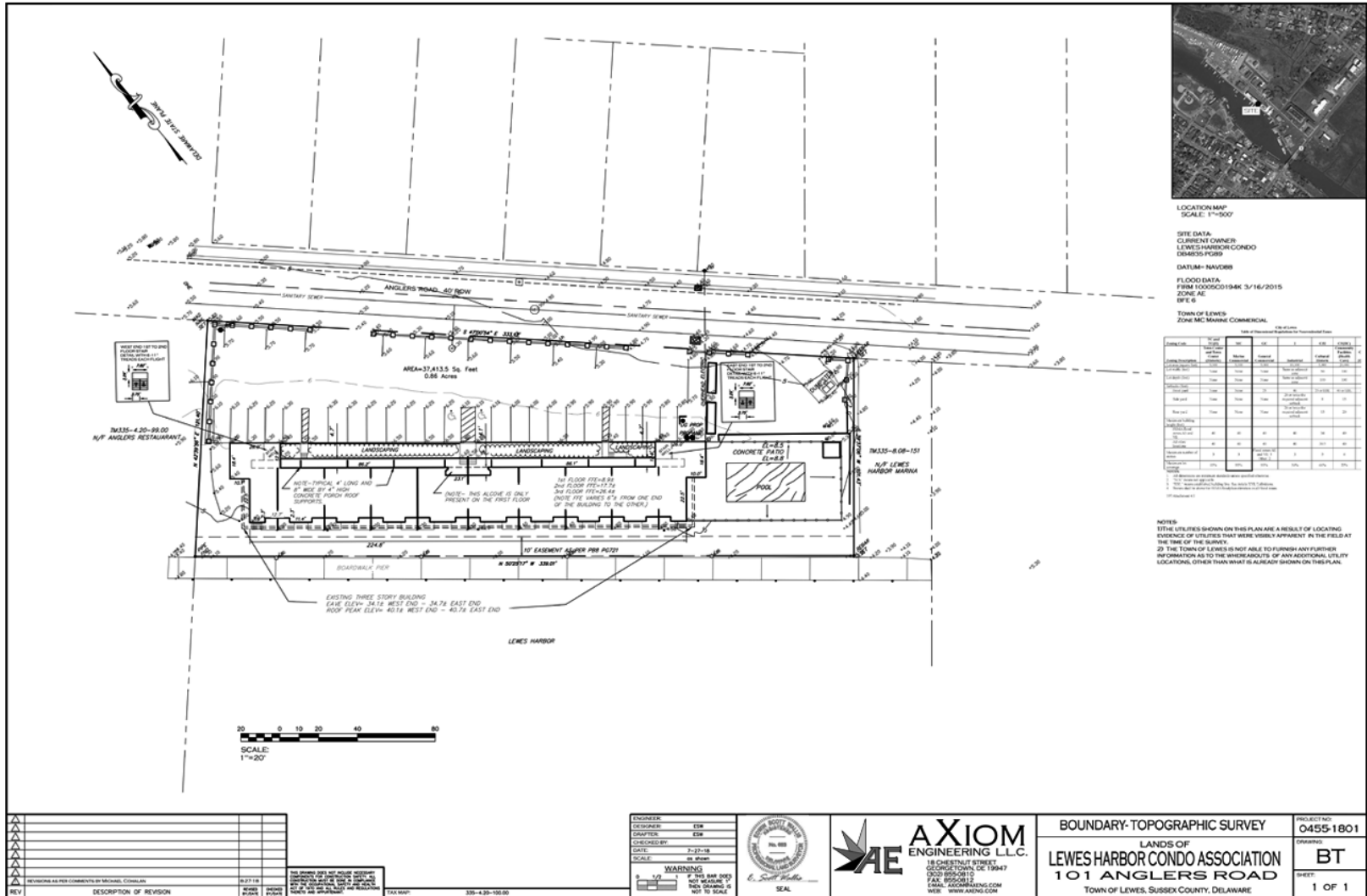




# Existing Building

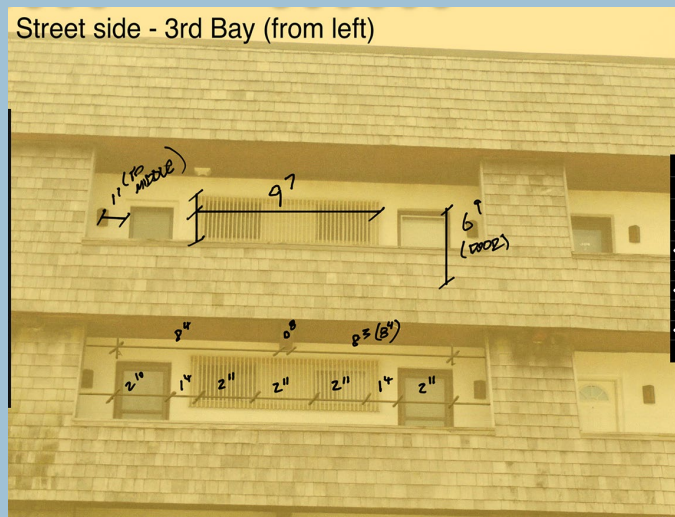
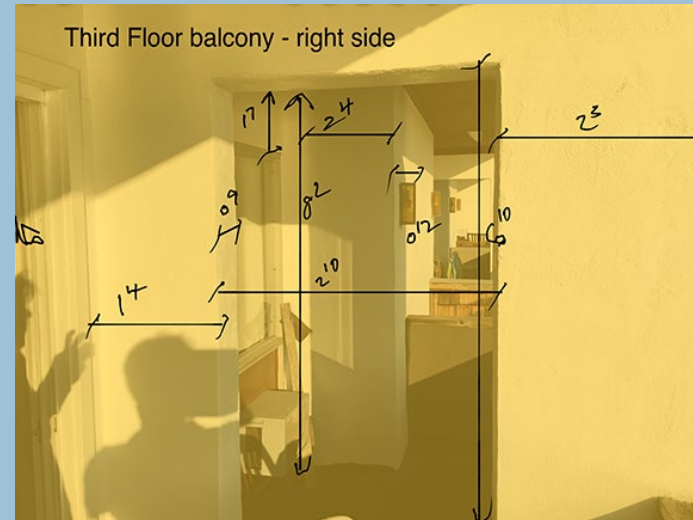
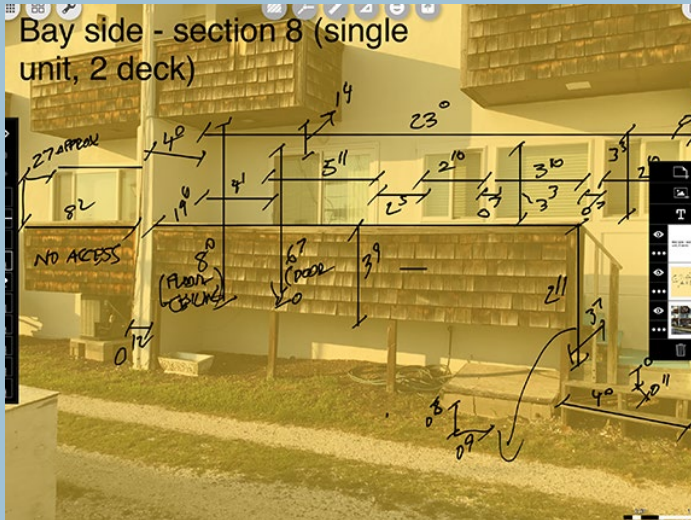


# Lewes Harbor Condo Survey

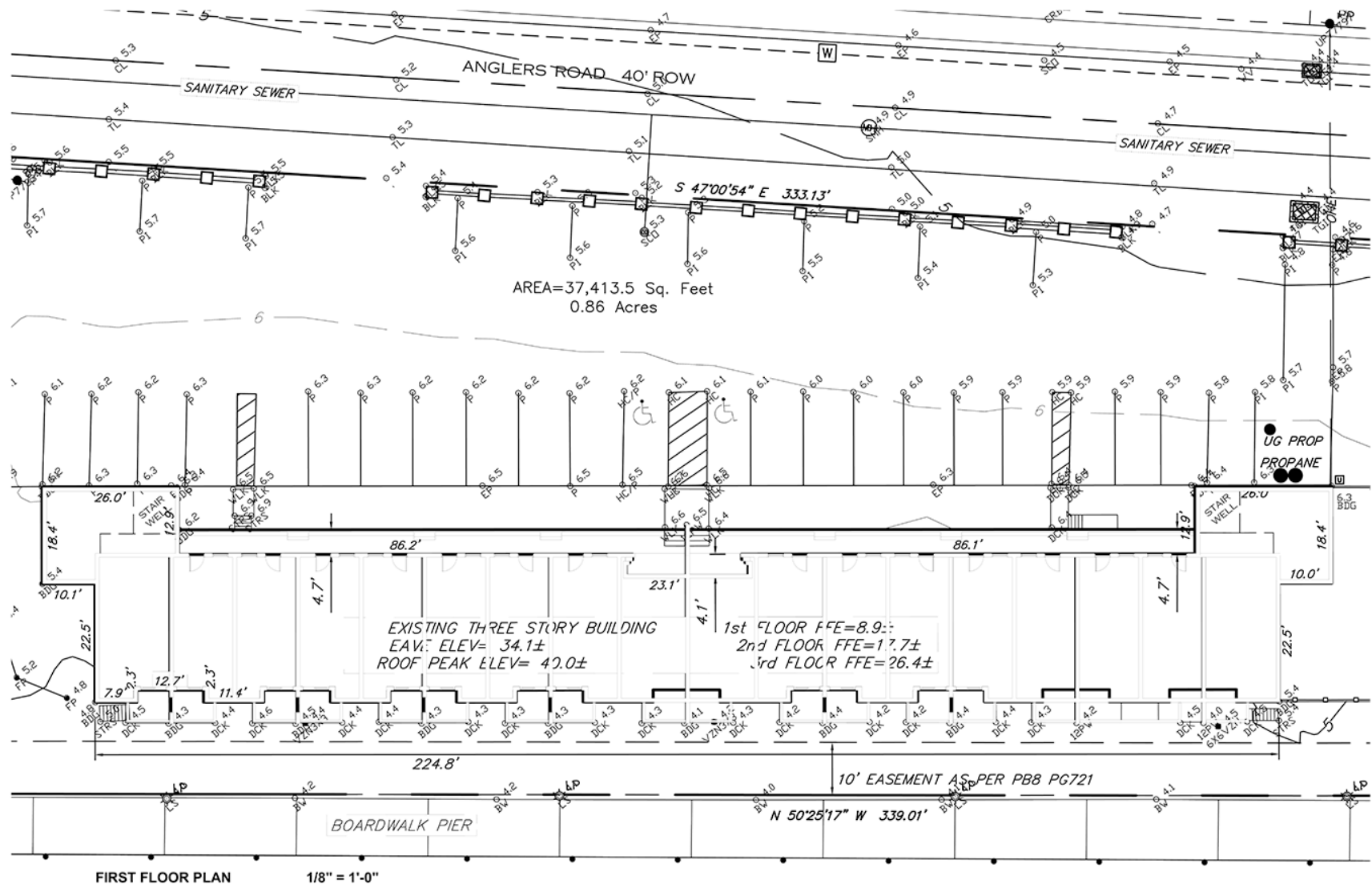




# Measuring The Building



# Measured Drawings / Plans



FIRST FLOOR PLAN

1/8" = 1'-0"

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REVISIONS

NO. DATE / BY

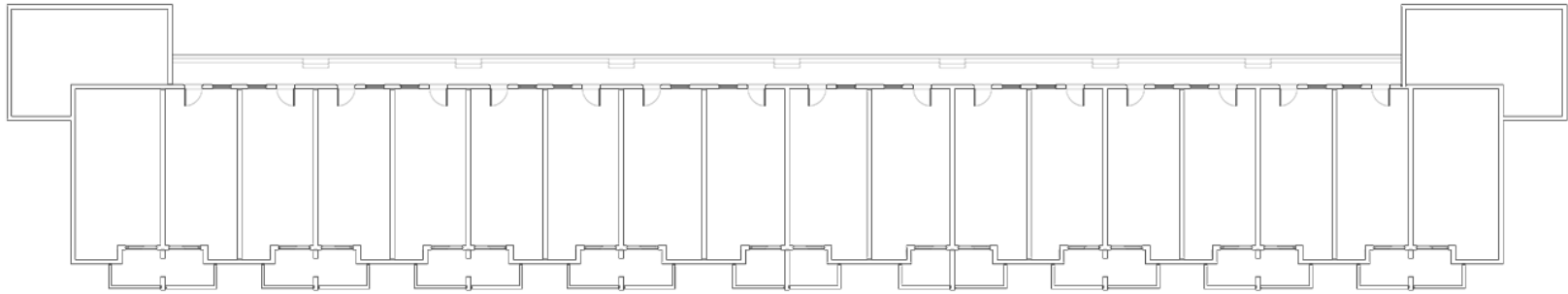
LEWES HARBOR CONDOMINIUM ASSOC.  
211 ANGLERS ROAD, LEWES, DE 19958

PROJECT #  
UNCL-18  
DWG. DATE  
10-15-18

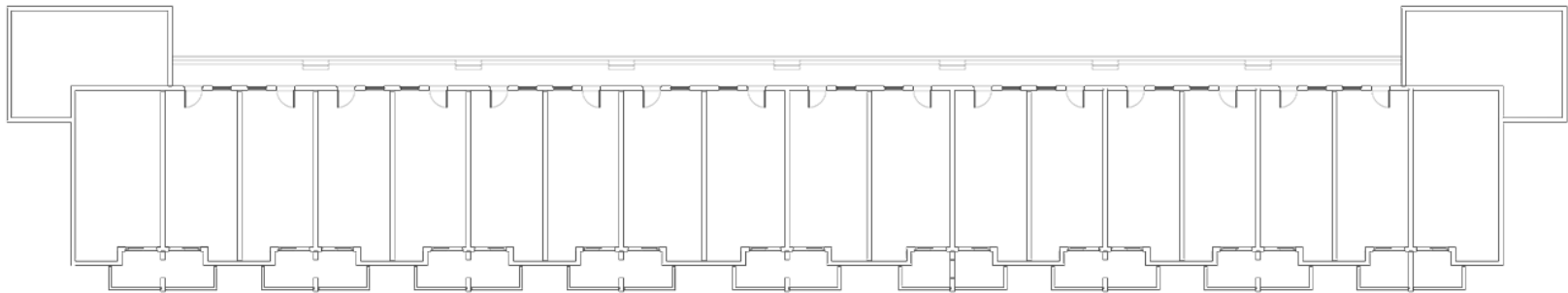
MD-1



# Measured Drawings / Plans

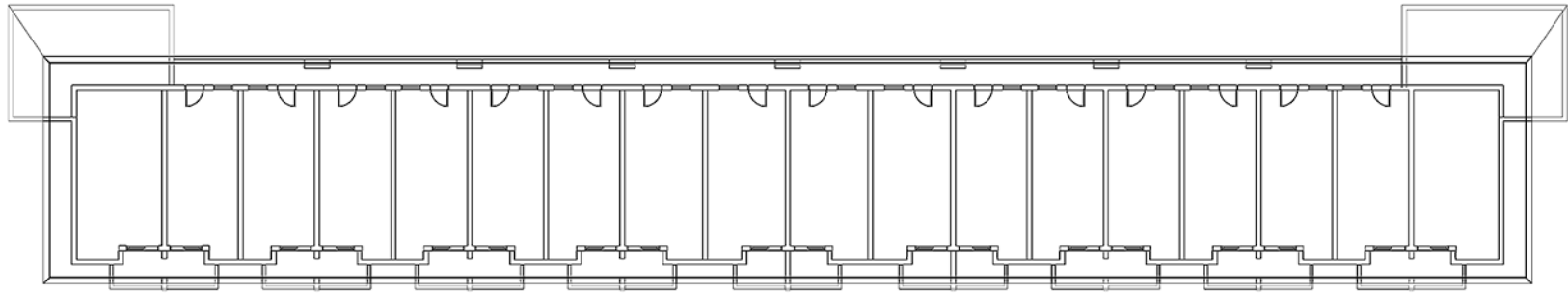


THIRD FLOOR PLAN 1/8" = 1'-0"



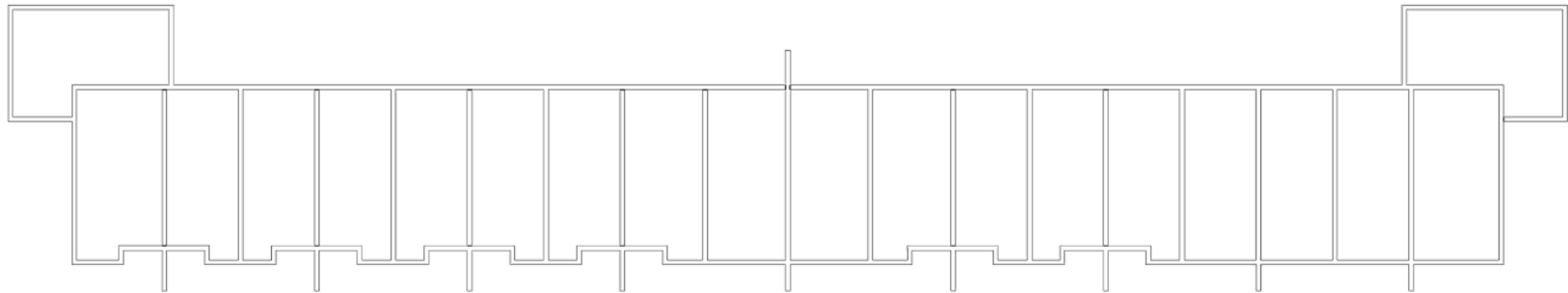
SECOND FLOOR PLAN 1/8" = 1'-0"

# Measured Drawings / Plans



ROOF FLOOR PLAN

1/8" = 1'-0"



FOUNDATION FLOOR PLAN

1/8" = 1'-0"

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SCALE: 1/8" = 1'-0"

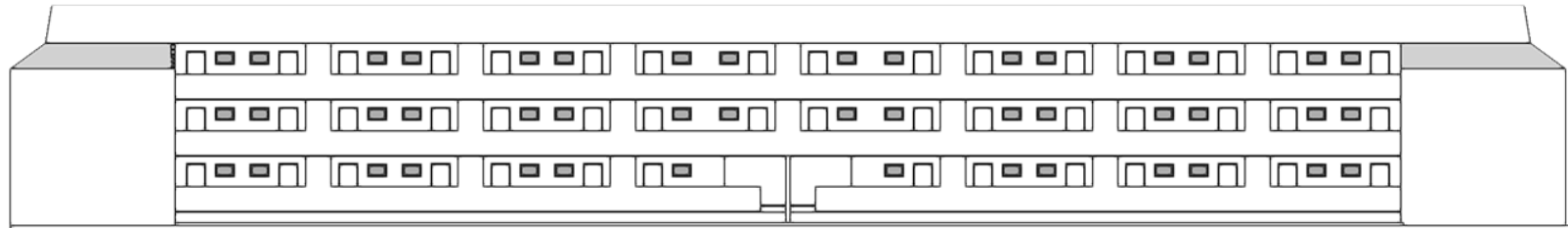
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MD-3

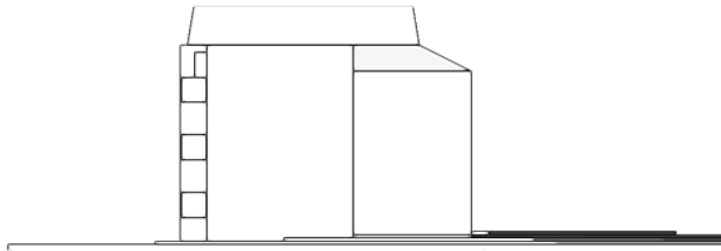


# Measured Drawings / Elevations



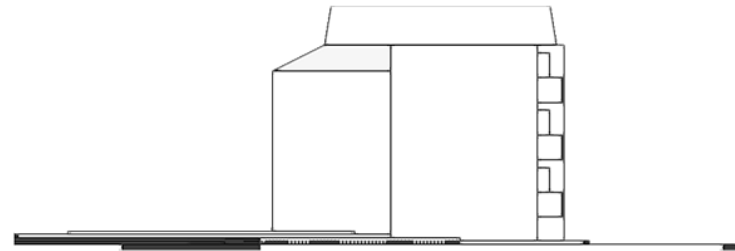
FRONT BUILDING ELEVATION

1/8" = 1'-0"



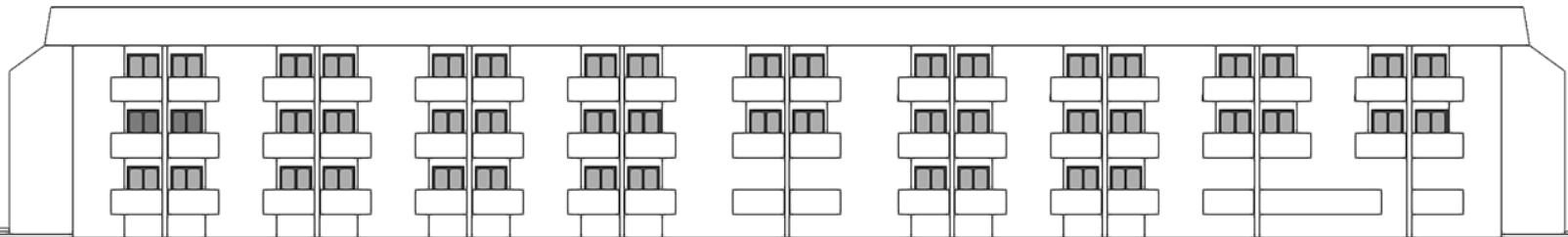
LEFT BUILDING ELEVATION

1/8" = 1'-0"



REAR BUILDING ELEVATION

1/8" = 1'-0"



REAR BUILDING ELEVATION

1/8" = 1'-0"

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10/10/00

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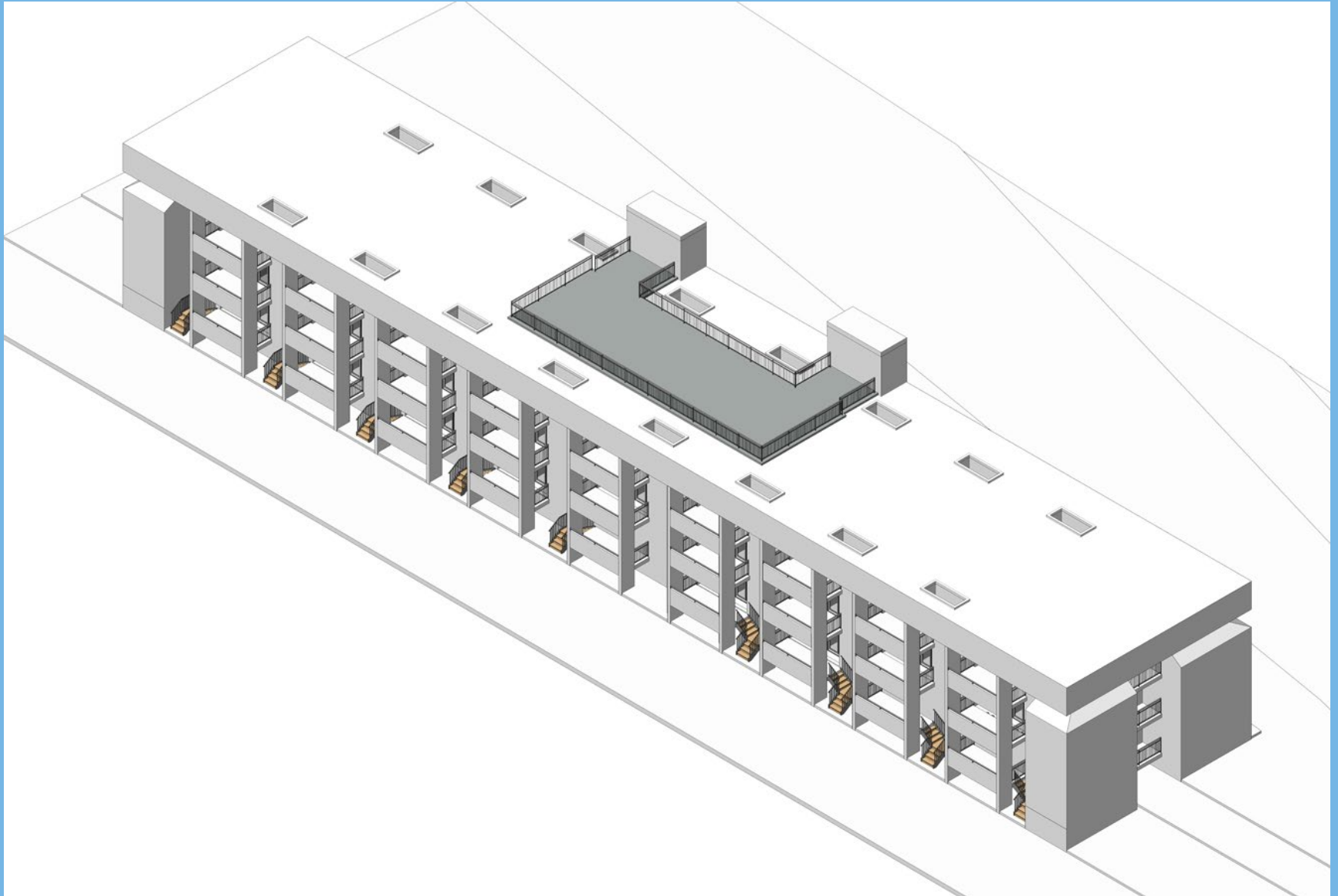
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MD-4





# Early Design: New LR Axon



# Early Design: New Front Perspective





# Early Design: New Rear Perspective



# Final Design: Left Front Axon View



# Final Design: Front View





# Front Design: Close Front View





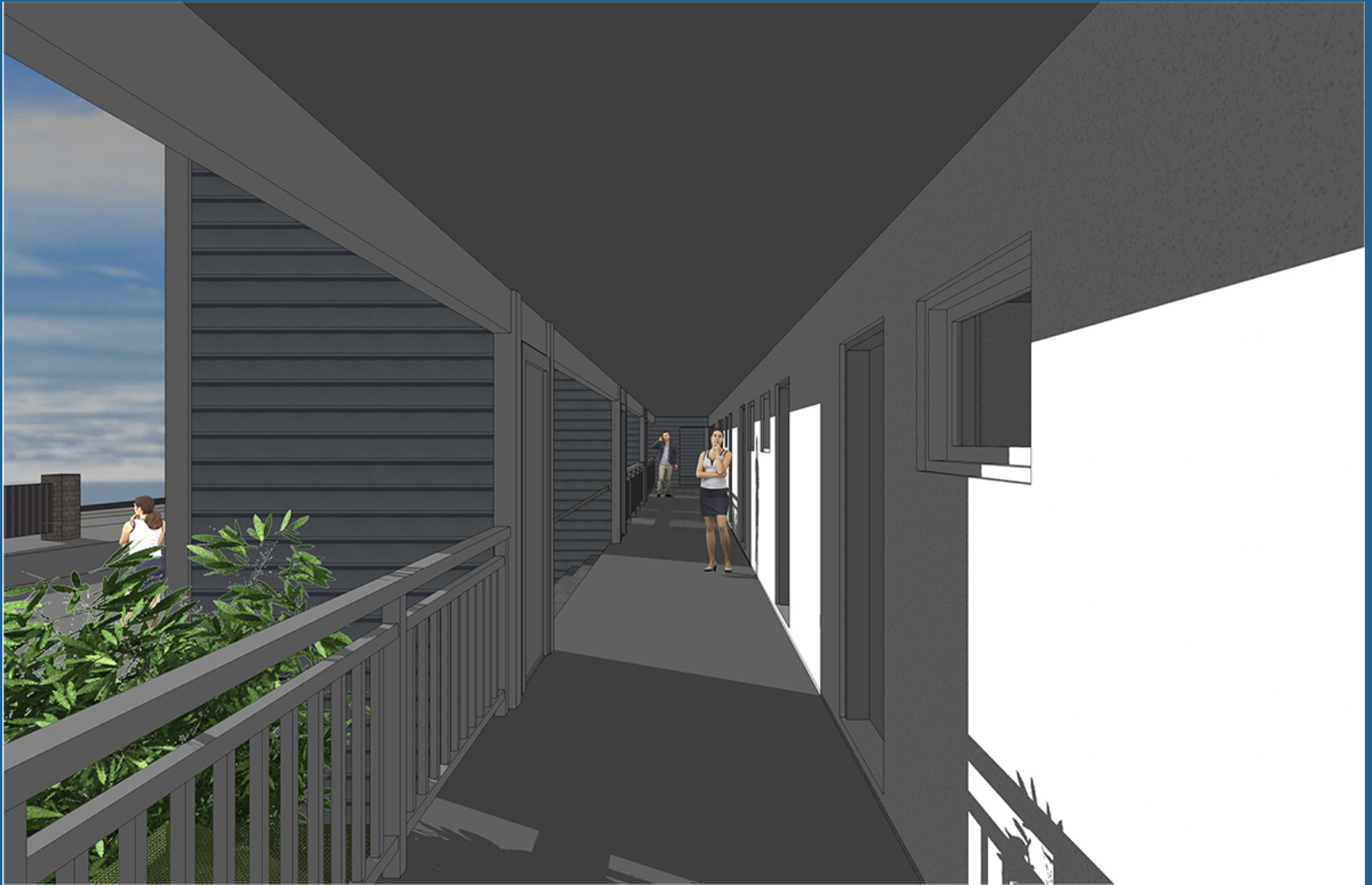
# Final Design: Closer Front View



# Final Design: Acute Front View

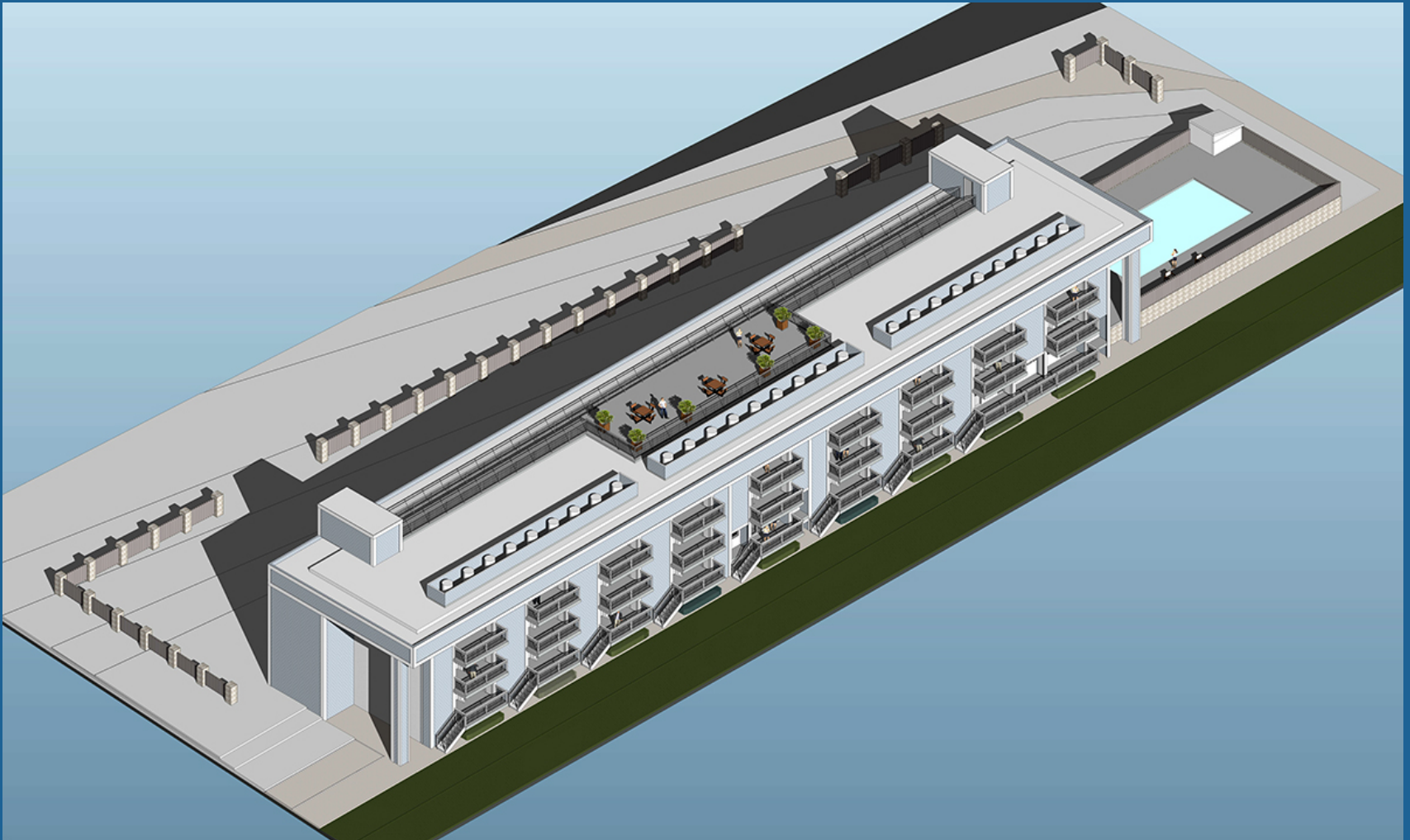


# Final Design: Walkway View



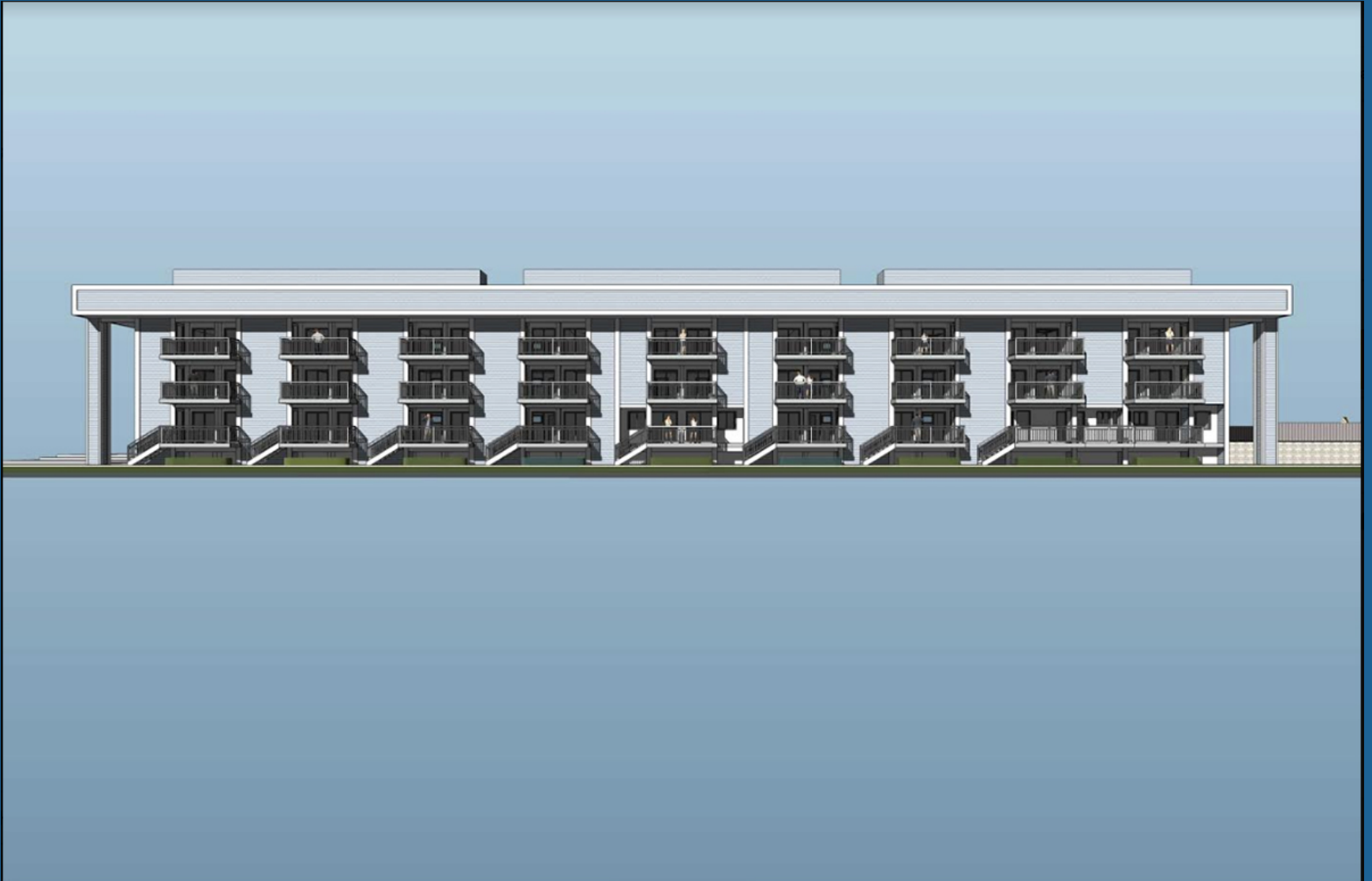


# Final Design: Right Rear Axon View





# Final Design: Rear View



# Final Design: Close Rear View



# Final Design: Closer Rear View



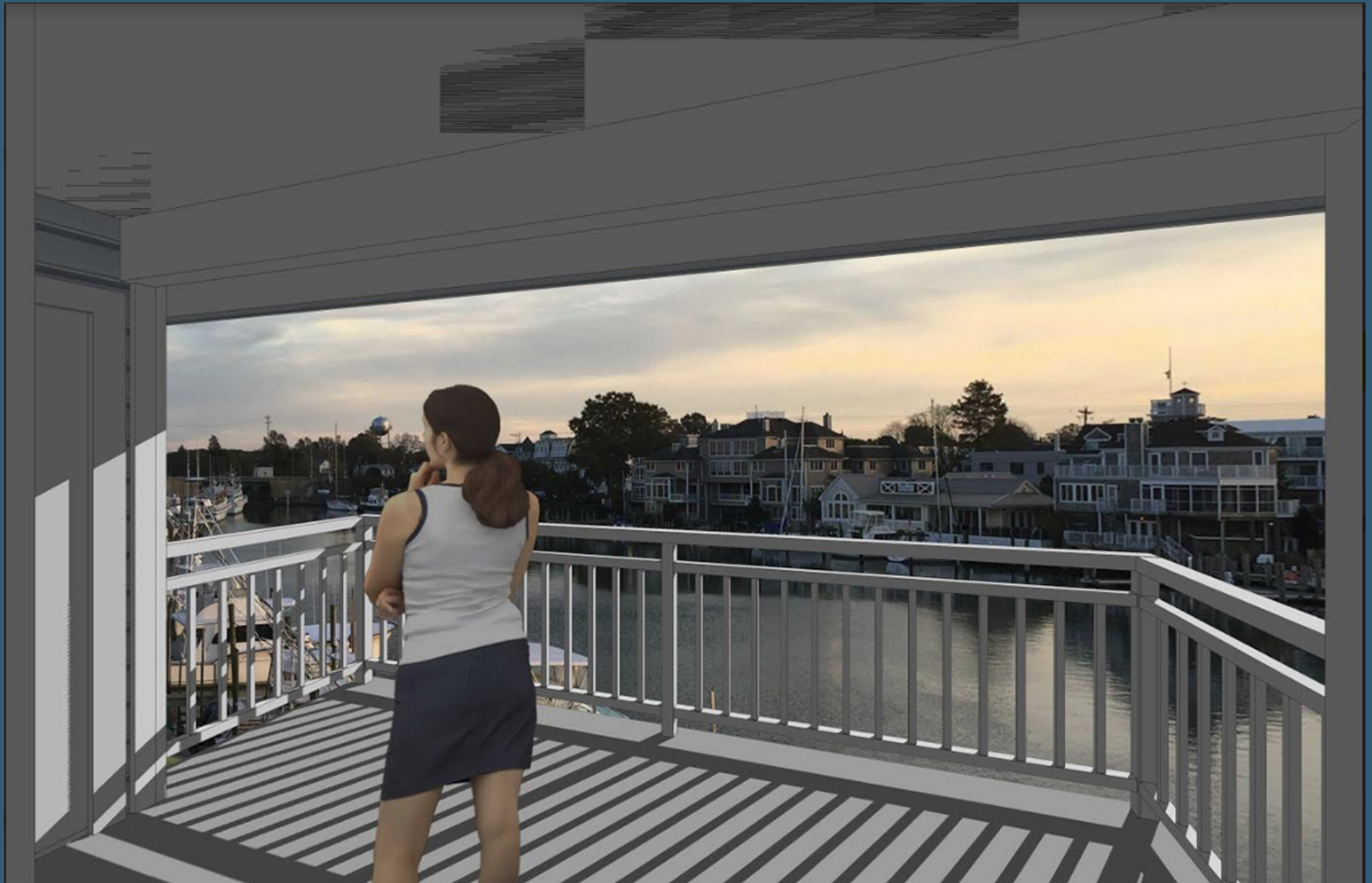


# Final Design: Close Acute Rear View

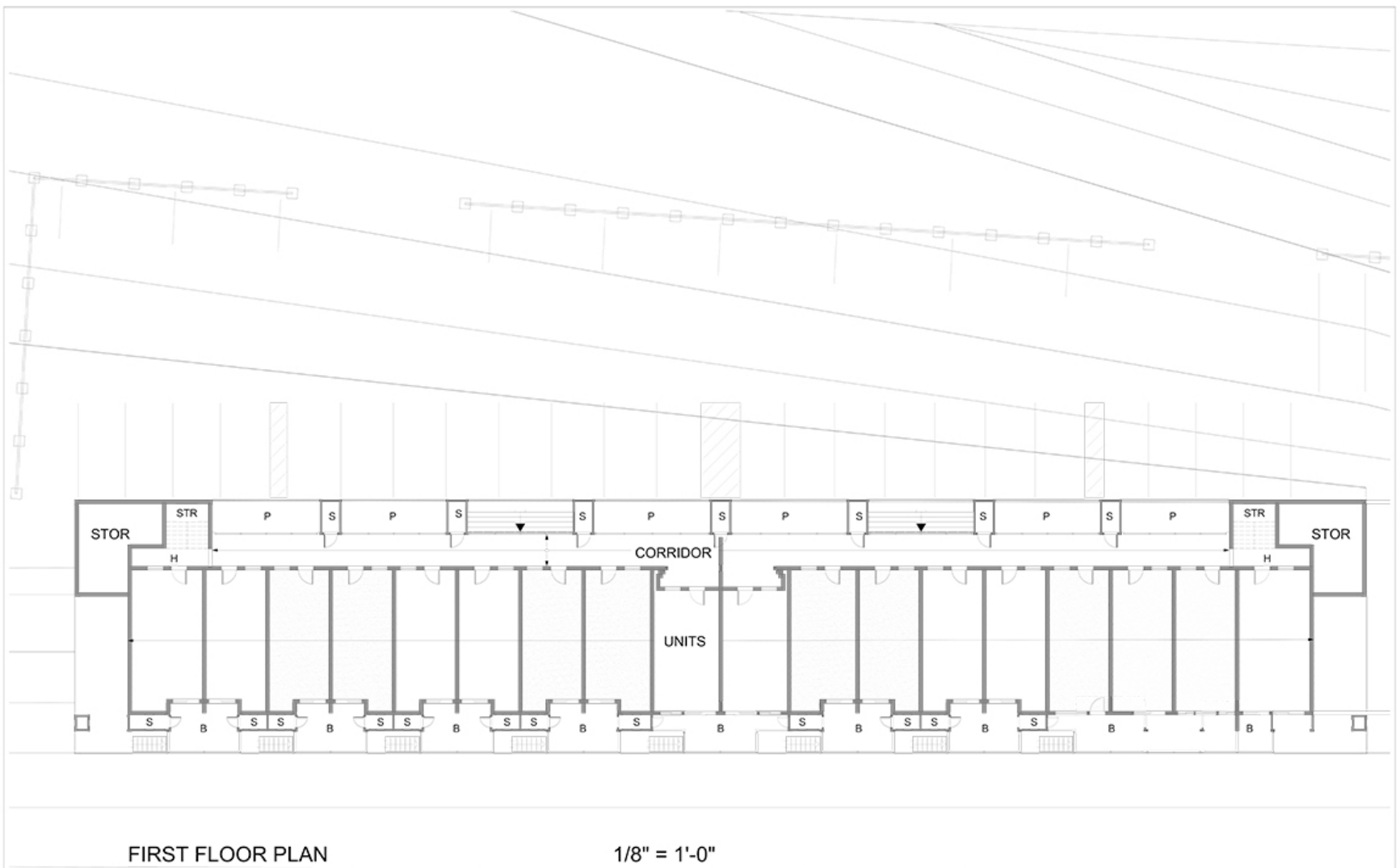




## Final Design: View from Typical Balcony



# Final Design Plans: Sheet A1



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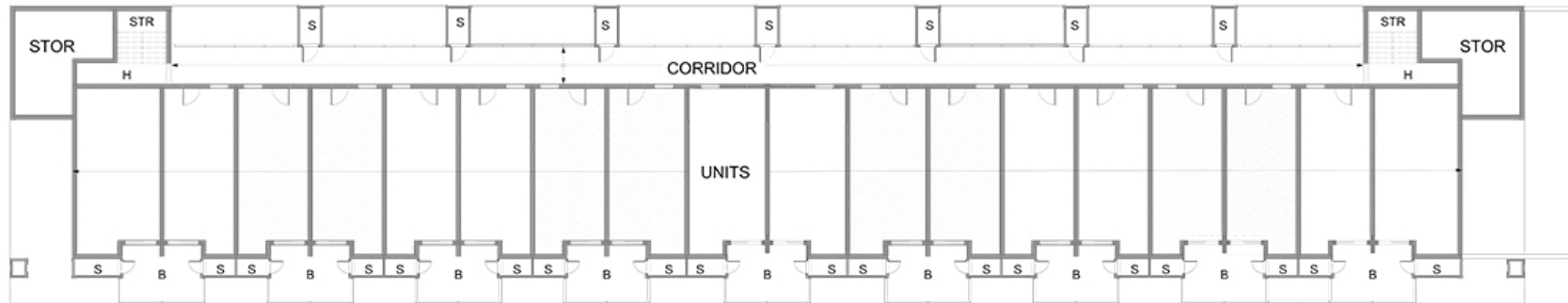
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OWN DATE  
1-16-19

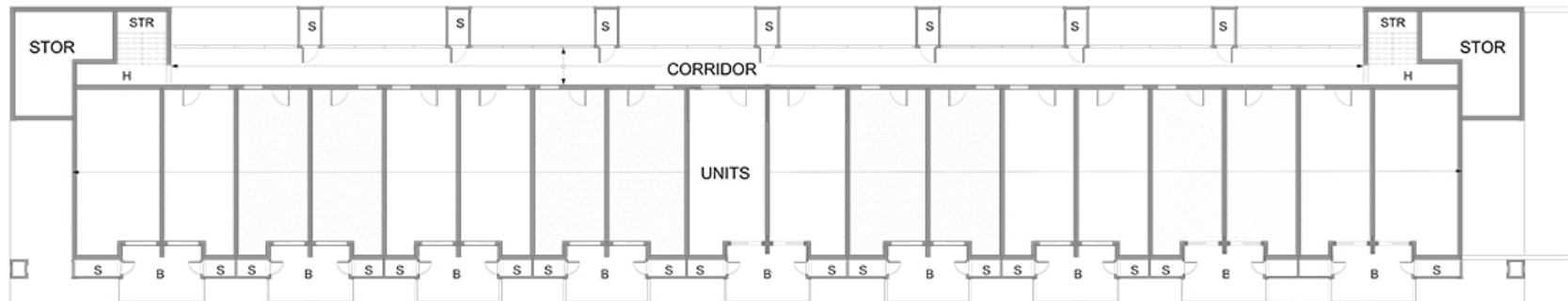
A 1

# Final Design Plans: Sheet A2



THIRD FLOOR PLAN

1/8" = 1'-0"



SECOND FLOOR PLAN

1/8" = 1'-0"



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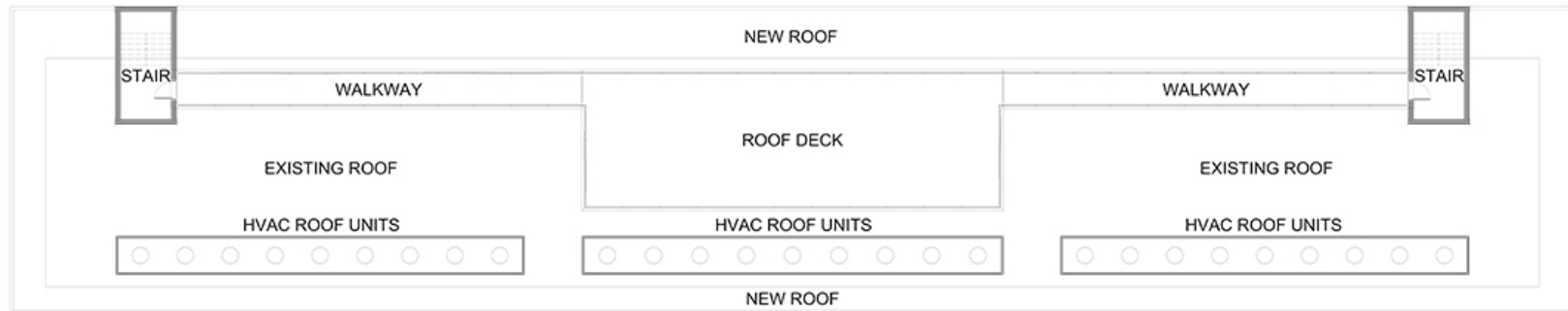
1/1/19 (20)

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DWS DATE  
1-14-19

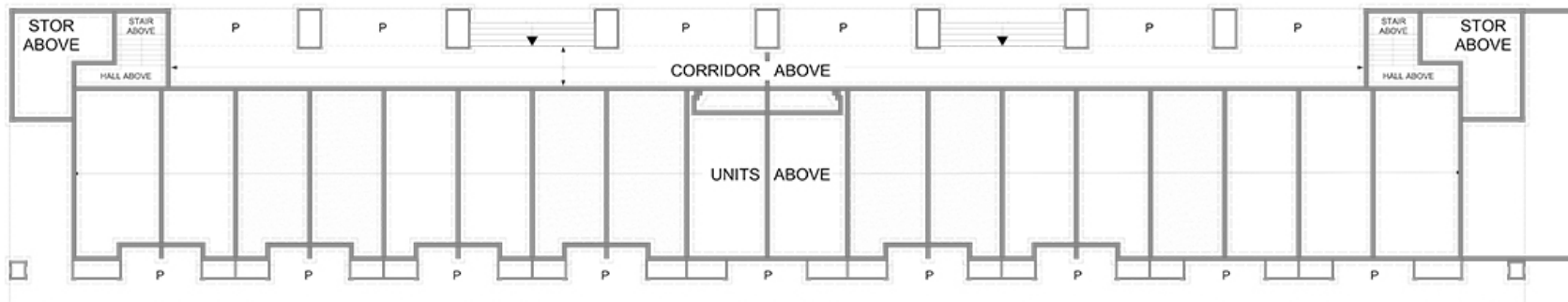


# Final Design Plans: Sheet A3



ROOF PLAN

1/8" = 1'-0"

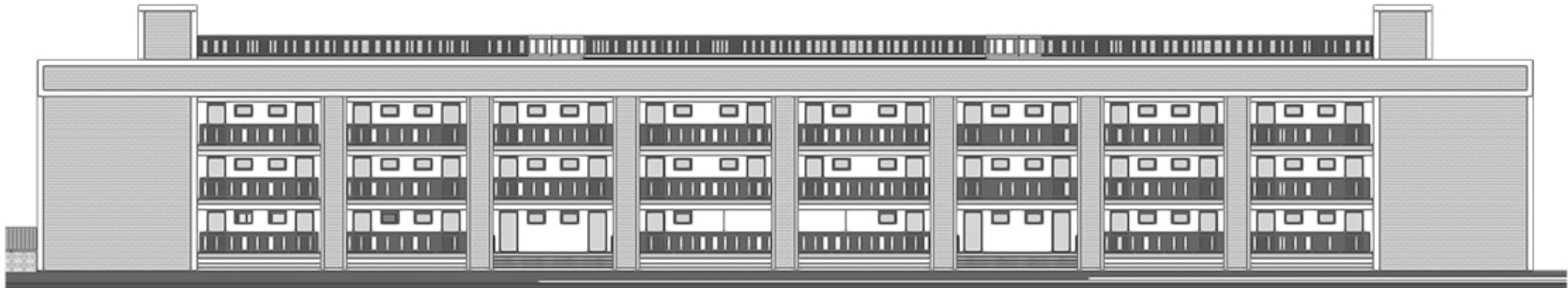


FOUNDATION PLAN

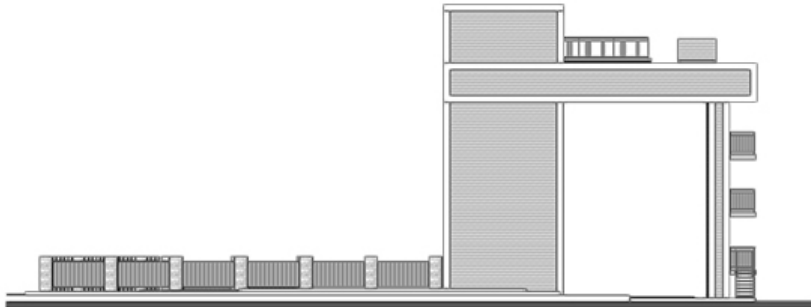
1/8" = 1'-0"



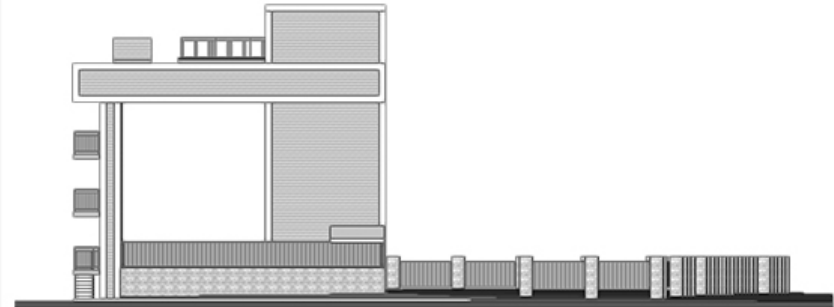
# Final Design Elevations: Sheet A4



FRONT ELEVATION 1/8" = 1'-0"



RIGHT ELEVATION 1/8" = 1'-0"



LEFT ELEVATION 1/8" = 1'-0"



REAR ELEVATION 1/8" = 1'-0"

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# Walkway and Balcony Waterproofing Installation

## KEEP SLIDE Installation: Base Coat

- Step 3: Liquid Membrane Construction – PUMA
  - Mix membrane resin and catalyst
  - Apply wet resin to construct membrane
  - Rapid curing
  - Waterproofing membrane is complete



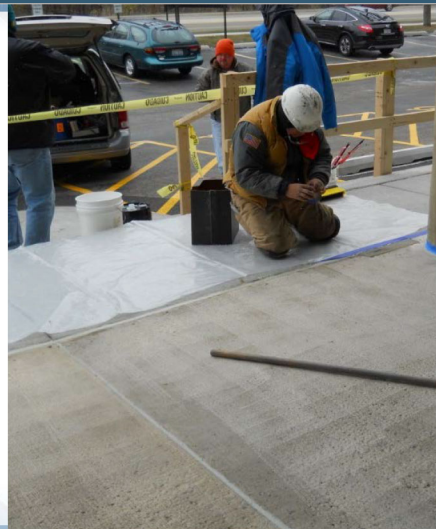
## Installation: Top Coat

- Step 5: Top Coat Installation
  - Mix resin and catalyst
  - Rapid curing
  - Application is complete



## Suitable Substrates

- Acceptable substrates for PMMA/PUMA applications (including but not limited to):
  - Concrete
  - Wood
  - Masonry
  - Metal (steel, copper, aluminum, etc.)
  - Gypsum board
  - Existing roofing systems
  - Rigid PVC
- PMMA/PUMA adheres to nearly every typical construction material!



## Application Areas

- Roofing
- Balconies
- Terraces
- Walkways
- Plaza decks
- Parking garages
- Bridges
- Water features
- Loading dock
- Garbage/chemical
- Planters



# Walkway and Balcony Finished Examples

KEEP SLIDE

**Pedestrian  
Traffic**



**Balconies**



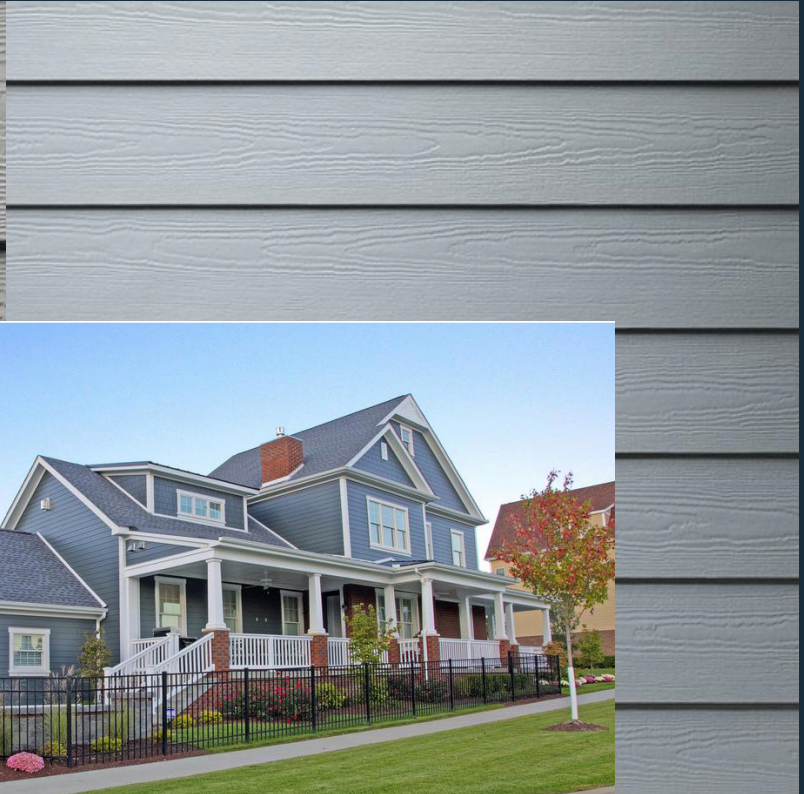
## **PMMA/PUMA System Characteristics**

- Aesthetic finishes
  - Can be finished to match any color by adding pigments to PMMA
  - Color flakes
  - Color quartz





# Horizontal Siding Samples





# Railing Samples



# Preliminary Outline Specification (Page 1)

## LEWES HARBOR CONDOMINIUM ASSOCIATION ADDITIONS AND RENOVATIONS PRELIMINARY OUTLINE SPECIFICATION

**1. GENERAL CONDITIONS:** USE AIA DOCUMENT A201 "GENERAL CONDITIONS OF THE CONTRACT, "LATEST EDITION". GENERAL CONTRACTOR MUST BE LICENSED AND INSURED IN ACCORDANCE WITH LHCA REQUIREMENTS. THE GENERAL CONTRACTOR (GC) SHALL PROVIDE ALL NECESSARY EQUIPMENT, TOOLS, SCAFFOLDING, ALL LABOR AND MATERIALS AND ALL FIELD ENGINEERING SERVICES NECESSARY FOR THE PROPER EXECUTION OF THE WORK. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LOCAL BUILDING CODES AND ALL OTHER APPLICABLE REGULATIONS. ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER CONSISTENT WITH THE GENERALLY ACCEPTED TRADE STANDARDS. THE GENERAL CONTRACTOR SHALL PROVIDE EVIDENCE OF CURRENT LIABILITY AND WORKERS COMPENSATION INSURANCE POLICIES CARRIED WITH ACCEPTABLE LIMITS OF COVERAGE. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS. DIMENSIONS SHOWN ON DRAWINGS ARE NOMINAL DIMENSIONS. DIMENSIONS OF OPENINGS SHOULD BE MODIFIED TO ACCOMMODATE MATERIAL AND EQUIPMENT SIZES AS EXACTLY FURNISHED BY THE MATERIALS OR EQUIPMENT MANUFACTURERS.

**2. SITEWORK:** PROVIDE ALL SITE RELATED WORK AS REQUIRED FOR CONSTRUCTION. PREPARE FOR STEEL REINFORCED CONCRETE PILE CAPS AND STEEL HELICAL PILINGS PER STRUCTURAL DESIGN SPECIFICATIONS; PROVIDE LANDSCAPING PER ALLOWANCES.

**3. CONCRETE:** COMPLY WITH AMERICAN CONCRETE INSTITUTE ACI 301 *SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS*" (LATEST EDITION):

# Preliminary Outline Specification (Page 2)

4. **MASONRY:** PROVIDE REPAIRS TO EXISTING MASONRY AS REQUIRED.
5. **METALS:** FACTORY FINISHED ALUMINUM RAILINGS AND STAIRS PER DESIGN.
6. **WOOD AND PLASTICS:** LIGHT #2 SPF WOOD FRAMING (TYPICAL) PER STRUCTURAL DESIGN, INCLUDING 2X STUDS & JOISTS (TREATED WHERE REQUIRED), 3/4" EXTERIOR GRADE PLYWOOD SUBFLOORING, 5/8" ROOF SHEATHING & 1/2" WALL SHEATHING THROUGHOUT; LVL & PSL BEAMS PER DESIGN; HARDIPLANK CLAPBOARD COMPOSITE SIDING; PREFINISHED AZEK PVC TRIM & FASCIA BOARDS; COMPOSITE EXTERIOR DECKING AT ROOF LOCATIONS.
7. **THERMAL AND MOISTURE PROTECTION:** TYPAR BUILDING WRAP; PERFORATED VINYL EXTERIOR CEILINGS; POLYSULFIDE EXTERIOR CAULKING; METAL ROOF DRAINS AND PVC CONCEALED DOWNSPOUTS; ROOF MEMBRANE TO MATCH EXISTING ROOFING; PMMA/PUMA TRAFFIC BEARING LIQUID MEMBRANE AT WALKWAYS & BALCONIES; MEMBRANE, LIQUID & METAL FLASHING PER DESIGNS.
8. **DOORS AND WINDOWS:** FACTORY FINISHED EXTERIOR METAL DOORS & EXTERIOR GRADE METAL HARDWARE.
9. **FINISHES:** PAINTING EXTERIOR GRADE MINERAL COATINGS AT NEW SIDING AND EXISTING MASONRY WALLS; ALKYD PAINTS AT OTHER MISCELLANEOUS SURFACES.
10. **SPECIALTIES:** MISCELLANEOUS SPECIALTIES AS REQUIRED (TO BE DECIDED).
11. **EQUIPMENT:** NOT APPLICABLE
12. **FURNISHINGS:** NOT APPLICABLE
13. **SPECIAL CONSTRUCTION:** NOT APPLICABLE
14. **CONVEYING SYSTEMS:** NOT APPLICABLE
15. **MECHANICAL:** NOT APPLICABLE
16. **ELECTRICAL:** PROVIDE ADDITIONAL EXTERIOR LIGHT FIXTURES AND EXIT SIGNAGE PER DESIGN OR AS REQUIRED BY CODE. CONNECT WITH EXISTING ELECTRICAL SYSTEM.

# Design and Production Project Schedule

[illegible]



